

Baltimore County, Maryland 2005-2006 Land Preservation, Parks and Recreation Plan Update



Adopted as a Baltimore County Master Plan Addendum by
the Baltimore County Council, February 18, 2015

Prepared by the Baltimore County Department of Recreation and Parks,
with assistance from the Baltimore County Dept. of Environmental Protection
and Sustainability, and the Baltimore County Dept. of Planning

TABLE OF CONTENTS

TABLE OF CONTENTS	1
EXECUTIVE SUMMARY	3
CHAPTER ONE: INTRODUCTION AND PLAN FRAMEWORK	5
PLAN PURPOSES AND OBJECTIVES	6
DEFINITIONS USED IN THE PLAN	7
COUNTY AND RECREATION & PARKS GEOGRAPHY	8
DEMOGRAPHIC AND SOCIOECONOMIC CHARACTERISTICS	11
COMPREHENSIVE PLAN FRAMEWORK	20
CHAPTER TWO: RECREATION, PARKS AND OPEN SPACE	23
RECREATION, PARKS AND OPEN SPACE GOALS	23
PROGRAMS, PROCEDURES AND MECHANISMS	56
ASSESSING PARKLAND AND FACILITY NEEDS	83
COUNTY OBJECTIVES AND PRIORITIES FOR LAND ACQUISITION, FACILITY DEVELOPMENT, AND REHABILITATION	120
SUMMARY OF RECREATION, PARKS AND OPEN SPACE PRIORITIES	120
PUBLIC PARTICIPATION	123
CHAPTER THREE: AGRICULTURAL LAND PRESERVATION AND OTHER LAND PRESERVATION PROGRAMS	125
ACHIEVEMENT OF AGRICULTURAL LAND PRESERVATION GOALS	126
AGRICULTURAL LAND PRESERVATION IN MASTER PLAN 2020	130
CHAPTER FOUR: NATURAL RESOURCE CONSERVATION	134
COUNTY NATURAL RESOURCE CONSERVATION GOALS PROGRESS	167
PRIORITY PRESERVATION AND CONSERVATION AREAS	172
NATURAL RESOURCE CONSERVATION IN MASTER PLAN 2020	174
APPENDICES	180

KEY MAPS AND TABLES

Recreation Councils and Regions Map: **p.10**
Recreation Councils and Regions Population Data and Projections Table: **p.13**
Population Growth by Recreation Council: 2000-2010 Map: **p.15**
Projected Population Growth by Recreation Council: 2010-2030 Map: **p.17**
Recreation Councils, the URDL and Community Enhancement Areas Map: **p.19**
Parks and Recreation Land Acquisition: FY's 2006-2011 Map: **p.27**
Park Development and Improvement Projects: FY'2 2006-2011 Map: **p.30**
Local Acreage by Recreation Region Table: **p.84**
Recreation Facility Supply by Recreation Region Table: **p.91**
Top Fifty Recreational Activities Table: **p.93**
Parkland Acreage Needs Analysis Table: **p.95**
Primary Service Areas for Regional Parks w) Outdoor Rec. Facilities Map: **p.100**
Primary Service Areas for Regional Parks w) Indoor Rec. Facilities Map: **p.102**
Table B-1: Supply Report: **p.105**
Table B-2: Demand Report: **p.108**
Table B-3: Needs Report: **p.112**
Priority Funding Areas Map: **p.136**
Baltimore County Green Infrastructure Map: **p.139**
Baltimore County Forest Cover Map: **p.140**
Baltimore County Green Schools & Center Map: **p.149**
Baltimore County Conservation Areas Compared to MD Greenprint TEAs Map: **p.172**
Table C: Acquisition, Development & Capital Rehabilitation Priorities: **Appendix**

EXECUTIVE SUMMARY

The Baltimore County Land Preservation, Parks and Recreation Plan (LPPRP) is a planning document required by the State of Maryland for the County to remain eligible for Program Open Space (POS) funding. POS is the primary State of Maryland funding program for the acquisition, development and rehabilitation of parkland and recreation sites, and thus the main emphasis of the LPPRP is parks and recreation. The LPPRP serves as an advisory master plan for the Baltimore County Department of Recreation and Parks, and is formally adopted as an addendum to the County's comprehensive (master) plan.

This LPPRP serves as an update to the 2005-2006 Baltimore County LPPRP, which was required to include expanded content on natural resource conservation and agricultural land preservation, in addition to traditional information on parks and recreation. The State utilized the '05-'06 LPPRP and other local LPPRP's from across the state to help analyze the effectiveness of federal, state and local land preservation and growth management programs and practices within its 2009 Maryland Land Preservation, Parks and Recreation Plan.

This iteration of the County LPPRP updates the progress that has been made towards achieving the goals, objectives and priorities identified in the '05-'06 LPPRP. Progress has been stalled somewhat as a result of challenging economic conditions, which have significantly impacted the amount of capital funding available to the State, counties and municipalities. Further, this plan revises that plan's goals, objectives and priorities, which were themselves modified as part of the effort to formulate the Baltimore County Master Plan 2020, adopted in November of 2010 as the County's latest comprehensive plan.

The agriculture land preservation and natural resource conservation portions of the plan are largely presented in "reference and summary" format, outlining the existing policies, practices, accomplishments and goals for these components of the plan. Applicable content from *Baltimore County Master Plan 2020* and other existing documents is identified and presented. This reflects the fact that comprehensive efforts in the areas of natural resource conservation and agricultural land preservation, which are spearheaded by the County's Department of Environmental Protection and Sustainability (EPS) and Department of Planning, are more thoroughly documented in other plans, reports, etc. Conversely, this plan's content dedicated to parks and recreation is more extensive since the LPPRP is, at its core, the parks and recreation master plan.

This plan describes the broad range of tools Baltimore County utilizes to effectively preserve land for a variety of purposes—to provide parks, to "green" urbanized areas through the dedication of open space and greenways, to preserve farmlands and rural landscapes, and to protect natural resources and important habitats. These tools range from capital funding programs to environmental and development regulations. The County faces many challenges within its land preservation efforts. Continued population growth and a greater awareness of the importance of a healthy lifestyle amplify recreational demands that tax the ability of the County's existing recreational infrastructure to accommodate those demands. In certain communities, where additional park sites may be required for the construction of needed facilities, there may be a lack of suitable undeveloped or under-developed lands. Funding

diversions and reduced fiscal resources likewise challenge the County's ability to preserve sufficient parklands and agricultural and natural resources, to construct new recreational facilities, and to adequately maintain and rehabilitate the existing extensive inventory of parks and facilities. These factors have made it all the more essential that the County prioritize the use of its capital resources and make the most of alternative means of land acquisition/preservation, park development, resource conservation, and site and facility management and maintenance. A number of these alternative methods are outlined within this document.

The agricultural land preservation and natural resource conservation chapters of this document summarize Baltimore County's vision and efforts within these two essential areas of land preservation. The County's agricultural preservation program and growth management mechanisms have combined to protect the rural landscapes that are a defining characteristic of the County's heritage. Agricultural land preservation programs alone have preserved nearly 60,000 acres of farmlands. Zoning tools, development regulations, and capital programs protect natural resources such as the Chesapeake Bay, streams, wetlands, forests, and wildlife habitats. All of these efforts have collectively led to Baltimore County being recognized as a national leader in the realm of land preservation.

Baltimore County also enjoys a rich history as an innovator within the field of parks and recreation. Programs and practices such as the volunteer recreation councils, the joint-use agreement for school recreation centers, and the mandatory dedication of local open spaces and greenways within the development process have served as models for other jurisdictions for decades. The Recreation, Parks and Open Space chapter of this document presents the County's existing parks and recreation policies, programs, goals and objectives. A number of key elements of the LPPRP are provided within the chapter, including an analysis of recreational supply and demand, an estimation of parkland and recreational facility needs, a list of current parks and recreation objectives, and a summary of the project priorities and recommendations that are listed in greater details within Appendix C of this plan.

The County must continue to emphasize and invest in land preservation, parks and recreation if it wishes to remain an attractive place in which to live, do business and visit, and to remain a national leader.

CHAPTER ONE: INTRODUCTION AND PLAN FRAMEWORK

Maryland Program Open Space (POS) Law, as presented within Title 5, Subtitle 9 of the Natural Resources Article of the Maryland Annotated Code, requires each county to prepare a Land Preservation, Parks and Recreation Plan (LPPRP) every six years to maintain eligibility for funding through POS. This plan has been prepared to achieve that mandate, and to serve as a planning guide for the Baltimore County Department of Recreation and Parks, particularly relating to the planning of capital projects including park acquisition, development and rehabilitation.

PROGRAM OPEN SPACE (POS): The State of Maryland's pre-eminent funding program for parklands and recreational facilities, established in 1969 through the enactment of the real estate transfer tax (a half-a-percent tax on most property transfer transactions). POS is utilized for state, local and municipal parks and recreation projects ranging from the acquisition of park sites, to construction of indoor and outdoor recreation facilities, to capital renovations of existing parks and facilities. Baltimore County has been allocated more than \$113 million since the inception of local POS funding in 1970, an average of more than \$2.5 million per year. The County's average allocation between FY's 2000-2011 grew to over \$5.3 million a year, peaking at nearly \$18.2 million in FY'07 and just under \$13 million in FY'08.

The prior Baltimore County LPPRP was adopted by the Baltimore County Council on July 3, 2006. In addition to its traditional recreation and parks-focused content, that plan featured extensive sections on agricultural land preservation and natural resource conservation in order to achieve the State of Maryland's objective that the plan should comprehensively outline the wide range of land preservation tools employed by each county. The present LPPRP shall serve primarily as an update to the prior County LPPRP, repeating certain content from that plan and providing information on the progress that has been achieved towards the '05-'06 LPPRP's goals, objectives and capital project priorities. Additionally, this LPPRP shall frequently reference the recently adopted (November, 2010) Baltimore County Master Plan 2020, reflecting the LPPRP's role as a master plan addendum. These references will include the updated recreation and parks related policies and actions of the Master Plan.

It is important to understand the role of the LPPRP within Baltimore County's overall planning process. The LPPRP is just one of many planning tools and documents that help guide the County in its efforts to provide the citizens of the County every opportunity to have a high quality of life, all the while maintaining the delicate balance between preservation and development for which Baltimore County has long been recognized as a national leader. Other notable planning tools are the Baltimore County Master Plan (including its water resource element), the dozens of adopted community plans from throughout the County, initiative-based planning documents such as the recent Baltimore County bicycle and pedestrian access plans, the County's development and growth management policies and regulations, and numerous environment-focused plans including those related to the County's Watershed Implementation

Plan (WIP) and water and sewer services. All of these plans, including the LPPRP, support state and federal plans and initiatives, including the State of Maryland's LPPRP.

PLAN PURPOSES AND OBJECTIVES

The universal purposes and objectives for the prior county and State LPPRP's, which largely carry over to and apply to this plan, are as follows:

- Review goals and objectives of State and local programs for three principal elements: parks and recreation, agricultural, and natural resources;
- Identify where these goals and objectives are essentially the same, where they are complementary or mutually supportive, and where they are simply different;
- Evaluate the ability of implementation programs and funding sources for each element to achieve related goals and objectives;
- Identify desirable improvements to policies, plans, and funding strategies, to better achieve goals and improve return on public investment;
- Recommend to State and local legislatures, governing bodies and agencies changes needed to overcome shortcomings, achieve goals, and ultimately ensure good return on public investment;
- Identify the needs and priorities of current and future State and local population for outdoor recreation;
- Achieve legislative goals of State and local land preservation programs; and
- Ensure that public investment in land preservation and recreation supports, and is supported by, local comprehensive plans, associated implementation programs, State Planning policy, and State and local programs that influence land use and development.

This plan will not only address the above objectives, but will also outline Baltimore County's applicable parks and recreation priorities and programs while providing a framework for future County investments in parks and recreation. Finally, the plan will identify foreseeable capital projects that are proposed to help meet the existing and future recreation and parks needs of the County citizenry. These projects are presented in detail within "Appendix C," and are based largely upon the analysis presented in this plan, as well as public and staff input provided as part of the plan formulation and other processes.

As indicated previously, this LPPRP is closely tied to Master Plan 2020 (MP2020). Throughout this document there are excerpts and references to MP2020, whose plan vision carries over to this LPPRP:

Create and maintain safe and sustainable communities, to achieve a sensible balance of economy, equity, and environment for people to reside, work, pursue careers, raise families, and enjoy the amenities in Baltimore County, Maryland.

Baltimore County's land preservation, parks and recreation efforts play essential roles in supporting this vision. Parklands, open spaces and diverse recreational facilities are key components of safe and sustainable communities, promoting economic and public health and offering access and opportunity to all. The availability of such lands and facilities can contribute

to the decisions of individuals, families and businesses to reside and stay in a given community or area. Parklands, greenways, open spaces and other forms of preserved lands likewise contribute to the County's environmental wellbeing, as such lands typically feature a substantially larger amount of woodlands and lower proportion of impervious surfaces than most other types of land use.

DEFINITIONS USED IN THE PLAN

Community Conservation Areas: One of the designated land management areas within Master Plan 2020, community conservation areas (CCA's) are established communities and commercial centers in urbanized areas of the County, generally adjacent to or in close proximity to Baltimore City. Targeted revitalization efforts seek to retain or enhance the areas' attractiveness and functionality.

Community Enhancement Areas (CEA's, as described in MP2020): Areas suitable for sustainable redevelopments that are compact, mixed-use, and walkable. An area with mixed-use buildings containing retail and/or office use on the lower floors and residential units above attracts new investment, provides a vibrant atmosphere, and offers diversity of housing. Environmental Site Design and conversion of existing impervious surfaces to green spaces such as parks, greenways and public squares enhances the social and cultural life of the neighborhood and improves quality of stormwater runoff. These compact, mixed use walkable communities have excellent, sustainable design, using the latest technologies in energy savings and environmental protection, and will focus on walkability and pedestrian access. See "Community Enhancement Areas" section starting on page 32 of Master Plan 2020 for further information.

Greenways: Networks of open space and parklands, typically linear in form, which are utilized for preservation, recreation or both. Most greenways in Baltimore County are associated with stream valleys. Some greenways include trails, including: the Cooper Branch, along which runs the Number Nine Trolley Line Trail; Red Run, along which the County's newest greenway trails were developed to serve the Owings Mills Growth Area; and Little Falls and Beetree Run, the streams along which the State's Torrey C. Brown (formerly North-Central) Rail Trail is situated. Greenways also serve as valuable wildlife corridors.

Local Open Space (LOS): Land that is dedicated as open space through Baltimore County's development process, which requires that open space be provided within residential developments. LOS is broken into two different types: active and passive. Active open space must be relatively flat and open, and suitable for interactive play or small gatherings, while passive open space may be open or sparsely wooded. LOS may be owned by the County, homeowner/condo owner associations, or land developer or management company, and may be improved with recreational facilities.

Recreation and Parks Regions: Major jurisdictional areas into which Baltimore County is split for the oversight of recreation services by the Department of Recreation and Parks. As of the prior LPPRP the County was divided into six distinct geographic recreation areas. However, the agency reorganized this structure in early 2011 and again in February of 2012, reducing from six

areas to four regions. Each of these regions is administered by a “Regional Coordinator” who oversees Community Recreation Supervisors assigned to the communities and recreation and parks councils of the region. See page ten for a map of the recreation regions and associated recreation and parks councils.

Recreation and Parks Councils: A cornerstone of recreation in Baltimore County, these are citizen-based, non-profit volunteer groups that are responsible for the vast majority of organized recreation programs that take place at County recreational facilities. Each of the forty-seven recreation and parks councils (up from 44 as of the '05-'06 LPPRP) has a formal charter, leadership structure and bylaw. DRP relies upon council volunteers to provide the recreation programs that serve the public, to raise funds to support those programs, and to provide input regarding local recreational facilities needs. Forty-one of the recreation councils have distinct boundaries that incorporate one or more communities and/or neighborhoods, while six of the councils are dedicated to specific parks or facilities. In all cases, the volunteers of the councils work hand-in-hand with DRP’s field operations staff to provide organized recreational opportunities to the public.

School Recreation Center (SRC): A site that is designed to function as both educational and recreational facility. In the case of Baltimore County, a “Joint Use Agreement” between DRP and the Board of Education ensures that all public schools are available for recreation program use in addition to serving their traditional role as educational facilities. The costs associated with the acquisition and development of SRC’s are typically shared between Baltimore County Public Schools and DRP. In some cases outdoor recreation facilities may be developed prior to school construction, allowing the sites to be used entirely as parks on an interim basis or until a site is deemed no longer needed or suitable for a school recreation center.

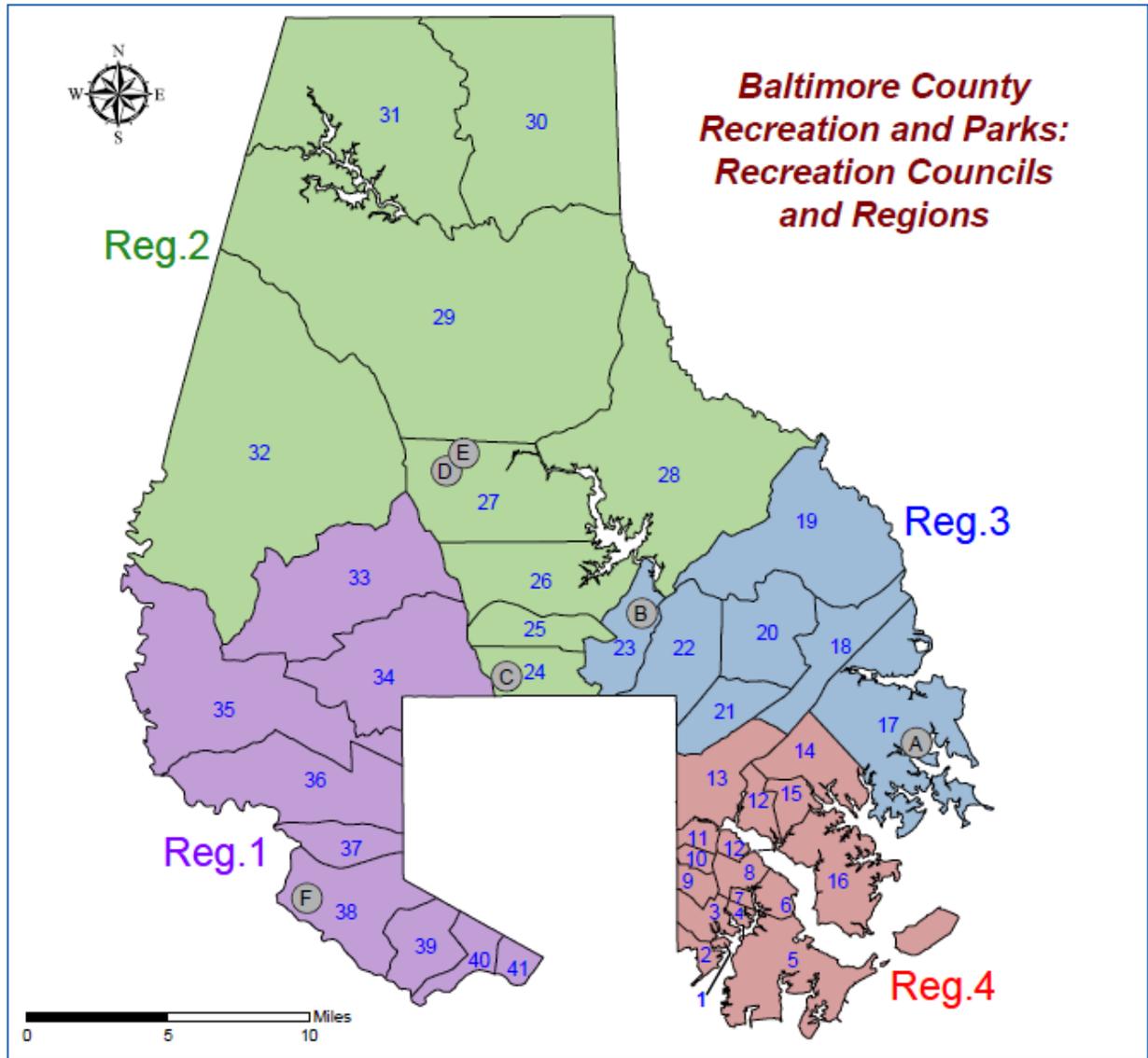
COUNTY AND RECREATION & PARKS GEOGRAPHY

See chapter two of the 2005-06 Baltimore County Land Preservation, Parks and Recreation plan, as well as Master Plan 2020’s Introduction and Sustainable Environment sections for information on the county’s physical characteristics

The Baltimore County Department of Recreation and Parks’ administrative geographic, jurisdictional and management structure has been modified on multiple occasions since the adoption of the prior LPPRP. There continue to be 41 individual traditional recreation and parks councils with boundaries that encompass the entire land area of the County. These boundaries represent the primary “service areas” of those councils. In early 2011 the number of larger geographic administrative areas under which the traditional recreation councils are grouped within DRP’s Recreation Services Section was reduced from six areas to four regions as part of the County’s greater restructuring efforts, with further reorganization following in early 2012.

The number of councils dedicated to a *specific* park site or facility has increased since the last LPPRP from three to six, and now includes councils for Oregon Ridge Nature Center, Marshy Point Nature Center, Benjamin Banneker Historical Park and Museum, Cromwell Valley Park, Robert E. Lee Park, and the Baltimore County Agricultural Resource Center. These councils are

independent entities, and not part of or answerable to the surrounding recreation and parks council in which the parks/sites are situated (e.g., the Marshy Point Nature Center Council is not a part of the Bengies-Chase Recreation Council). See the “Baltimore County Recreation and Parks: Recreation Councils and Regions” map on the following page.



- | | | | |
|--|---|--|---|
| <p>- REGION 4</p> <ol style="list-style-type: none"> 1. Watersedge 2. Turner Station 3. Dundalk-Eastfield 4. West Inverness 5. Edgemere-Sparrows Point 6. North Point Village 7. Bear Creek 8. Gray Charles 9. Patapsco Neck-Norwood 10. Berkshire-Eastwood 11. Colgate-Eastpoint 12. Essex 13. Rosedale 14. Middle River 15. Stembridge 16. Back River | <p>- REGION 3</p> <ol style="list-style-type: none"> 17. Bengies-Chase 18. White Marsh 19. Kingsville 20. Perry Hall 21. Overlea-Fullerton 22. Parkville 23. Greater Loch Raven | <p>- REGION 2</p> <ol style="list-style-type: none"> 24. Towson 25. Towson 26. Lutherville-Timonium 27. Cockeysville 28. Carroll Manor 29. Hereford Zone 30. Seventh District 31. Prettyboy 32. Reisterstown | <p>- REGION 1</p> <ol style="list-style-type: none"> 33. Owings Mills 34. Greater Pikesville 35. Liberty Road 36. Woodlawn 37. Edmondson-Westview 38. Catonsville 39. Arbutus 40. Lansdowne-Riverview 41. Baltimore Highlands |
|--|---|--|---|
- PARK BASED COUNCILS**
- | | |
|-------------------------------|---|
| A. Marshy Point Nature Center | D. Oregon Ridge Nature Center |
| B. Cromwell Valley Park | E. Baltimore Co. Agricultural Research Ctr. |
| C. Robert E. Lee Park | F. Banneker Historical Park & Museum |

DRP's administrative geography pertains primarily to the agency's mission of offering recreational services, primarily through the organized activities of the volunteer recreation and parks councils. Recreation Services field staff are stationed throughout the County, each working in a community office that works with one or more council and administers the parks and recreation sites within the bounds of their assigned councils. These offices and the associated councils operate cooperatively to try to meet local recreation needs.

The recreation and parks council boundaries and geography also offer convenient means for assessing such factors as demographic trends and the need for parklands and recreational facilities. It is important to note that any regional analysis that follows within this plan reflects the recent changes to the quantity and composition of the recreation regions, and that it is thus not possible to equally compare regional data from the prior LPPRP to this present plan.

DEMOGRAPHIC AND SOCIOECONOMIC CHARACTERISTICS

A broad perspective on Baltimore County's demographic and socioeconomic trends is available in the *Baltimore County Master Plan 2020*, under the "Demographic Profile" of the plan's introduction. Population characteristics, including age and race structure and household and family data are discussed and estimated. Social and economic characteristics such as employment, income and housing information are likewise described in detail.

Demographic and socioeconomic factors play an important role in helping to anticipate existing and future needs for parks and for recreational facilities. Baltimore County has traditionally utilized the standardized State of Maryland goal of providing 30 acreage of local parklands for every 1,000 citizens. Thus, as Baltimore County's population continues to grow, so too does the need for parkland. The base formulas for estimating recreational facility needs also use population as a primary factor. The parkland and facility needs analyses are presented in Chapter Two of this document.

The table that follows displays updated population data deriving from the Baltimore County Department of Planning's Census 2010 Round 7C demographic data. The County's estimated 2010 population of 816,547 is about 3,000 less than what was projected as of the writing of the 2005-06 LPPRP, a difference of little more than a third of a percent and testament to the accuracy of the County's population projection for 2010. As indicated by the table, the County's population grew by 9.0% between 1990 and 2000, followed by an increase of 8.3% between 2000 and 2010. This translates to a population increase of 124,413, or 18.0%, over the twenty-year period starting in 1990. Much of that growth was concentrated within two designated growth areas of Owings Mills and Honeygo. The anticipated ten-year growth rates of 3.7% between 2010 and 2020, and 1.9% between 2020 and 2030, reflect the significant growth trend changes that the County is expected to experience over the next twenty years. This slower amount of growth, rather than being concentrated in large growth areas, is expected to occur within planned, mixed-use redevelopment areas scattered throughout the urbanized portion of the County.

Year:	2000	2005	2010	2015	2020	2025	2030
Population	754,293	789,454	816,547	834,618	846,977	856,938	862,787
10-Year Growth	9.0%*	N/A	8.3%	N/A	3.7%	N/A	1.9%

*- Baltimore County's 1990 population was estimated to be 692,134

Geographic Growth Patterns

Baltimore County's growth in population has not been evenly distributed throughout all areas of the County. Some older communities have experienced losses in population in decades past, though revitalization efforts in recent years are helping to reverse this trend. Page 12 displays updated population projections for the years 2000 through 2030 in five-year increments, organized by recreation council boundaries and regions. It should be noted that DRP's recreation regions are not balanced/organized based upon population, and that other factors including the quantity and type of recreational facilities and the level of recreation program participation have the largest impact upon how the councils are apportioned into administrative geographies such as community offices and regions.

Recreation and Parks Council and Region Population Data and Projections: 2000-2030

(based on population data from Baltimore County Office of Planning, February, 2011)

Council	2000 Pop	2005 Pop	2010 Pop	Pop. Change '00-'10	2015 Pop	2020 Pop	2025 Pop	2030 Pop
Baltimore Highlands	7,003	7,044	7,096	93	7,159	7,250	7,327	7,363
Lansdowne-Riverview	10,141	10,142	10,150	9	10,203	10,329	10,428	10,480
Arbutus	21,696	21,864	21,902	206	22,006	22,177	22,351	22,434
Catonsville	36,821	37,245	37,934	1,114	38,554	39,006	39,390	39,586
Edmondson-Westview	21,220	21,504	21,868	647	22,163	22,465	22,689	22,797
Woodlawn	36,863	39,750	40,419	3,556	40,811	41,669	42,526	43,002
Liberty Road	53,097	55,615	58,748	5,651	60,780	61,637	62,374	62,744
Owings Mills	32,071	38,135	42,531	10,460	44,509	45,011	45,513	45,813
Pikesville	47,223	50,156	51,714	4,490	52,120	52,670	53,247	53,491
Region 1:	266,134	281,455	292,360	26,226	298,306	302,213	305,844	307,711
<i>Region Pop. as % of Total:</i>	35.3%	35.7%	35.8%		35.7%	35.7%	35.7%	35.7%
Towson	23,950	24,143	24,319	368	24,449	24,757	24,956	25,059
Towsontowne	20,350	20,380	22,053	1,702	23,858	24,143	24,342	24,446
Lutherville-Timonium	28,246	28,728	29,375	1,129	29,835	30,279	30,573	30,722
Cockeysville	26,594	28,478	29,259	2,665	29,555	30,100	30,583	30,741
Reisterstown	38,275	42,470	45,660	7,385	47,873	48,651	49,259	49,635
Carroll Manor	13,320	13,801	14,152	832	14,394	14,651	14,836	14,937
Hereford Zone	15,240	16,494	16,981	1,741	17,234	17,568	17,818	17,979
Prettyboy	5,413	5,831	6,344	931	6,536	6,633	6,720	6,768
Seventh District	5,324	5,953	6,142	818	6,254	6,384	6,475	6,529
Region 2:	176,711	186,279	194,283	17,572	199,990	203,164	205,562	206,816
<i>Region Pop. as % of Total:</i>	23.4%	23.6%	23.8%		24.0%	24.0%	24.0%	24.0%
Greater Loch Raven	28,353	28,418	28,479	126	28,655	29,193	29,486	29,627
Parkville	44,187	44,708	44,951	764	45,241	45,959	46,448	46,721
Perry Hall	38,141	41,036	42,148	4,007	42,636	43,293	43,784	44,119
White Marsh	6,528	10,244	12,166	5,638	12,989	13,247	13,482	13,645
Kingsville	5,845	6,097	6,268	423	6,401	6,523	6,604	6,660
Overlea-Fullerton	11,494	12,437	13,032	1,538	13,225	13,489	13,675	13,822
Bengies-Chase	18,463	19,256	21,018	2,555	22,361	22,763	23,039	23,166
Region 3:	153,011	162,195	168,062	15,051	171,508	174,467	176,517	177,760
<i>Region Pop. as % of Total:</i>	20.3%	20.5%	20.6%		20.5%	20.6%	20.6%	20.6%
Rosedale	23,960	24,341	24,763	803	25,083	25,462	25,784	25,959
Middle River	21,912	21,913	21,561	-351	22,008	22,324	22,583	22,728
Stembridge	13,946	13,409	13,781	-165	14,077	14,250	14,385	14,454
Essex	10,250	10,283	10,311	60	10,361	10,523	10,643	10,709
Back River	17,256	17,379	17,766	510	18,297	18,567	18,768	18,865
Colgate-Eastpoint	3,218	3,219	3,221	3	3,237	3,297	3,333	3,347
Berkshire-Eastwood	6,505	6,533	6,542	37	6,571	6,635	6,702	6,733
Patapsco Neck-Norwood	8,371	8,395	8,490	119	8,621	8,760	8,858	8,899
Gray Charles	7,011	7,010	6,997	-14	7,024	7,128	7,220	7,247
Bear Creek	3,784	3,784	3,773	-11	3,789	3,821	3,851	3,868
Dundalk-Eastfield	16,583	16,586	17,813	1,031	18,334	18,538	18,735	18,818
West Inverness	6,820	6,817	6,849	29	6,927	7,017	7,095	7,126
Watersedge	1,333	1,329	1,325	-7	1,330	1,354	1,372	1,382
Turner Station	2,988	2,976	2,976	-12	2,987	3,046	3,090	3,112
North Point Village	4,821	5,172	5,176	355	5,198	5,277	5,343	5,371
Edgemere-Sparrows Point	9,678	10,378	10,697	1,019	10,970	11,132	11,252	11,300
Region 4:	158,436	159,525	161,842	3,406	164,815	167,133	169,015	169,918
<i>Region Pop. as % of Total:</i>	21.0%	20.2%	19.8%		19.7%	19.7%	19.7%	19.7%
Grand Totals:	754,293	789,454	816,547	62,254	834,618	846,977	856,938	862,204

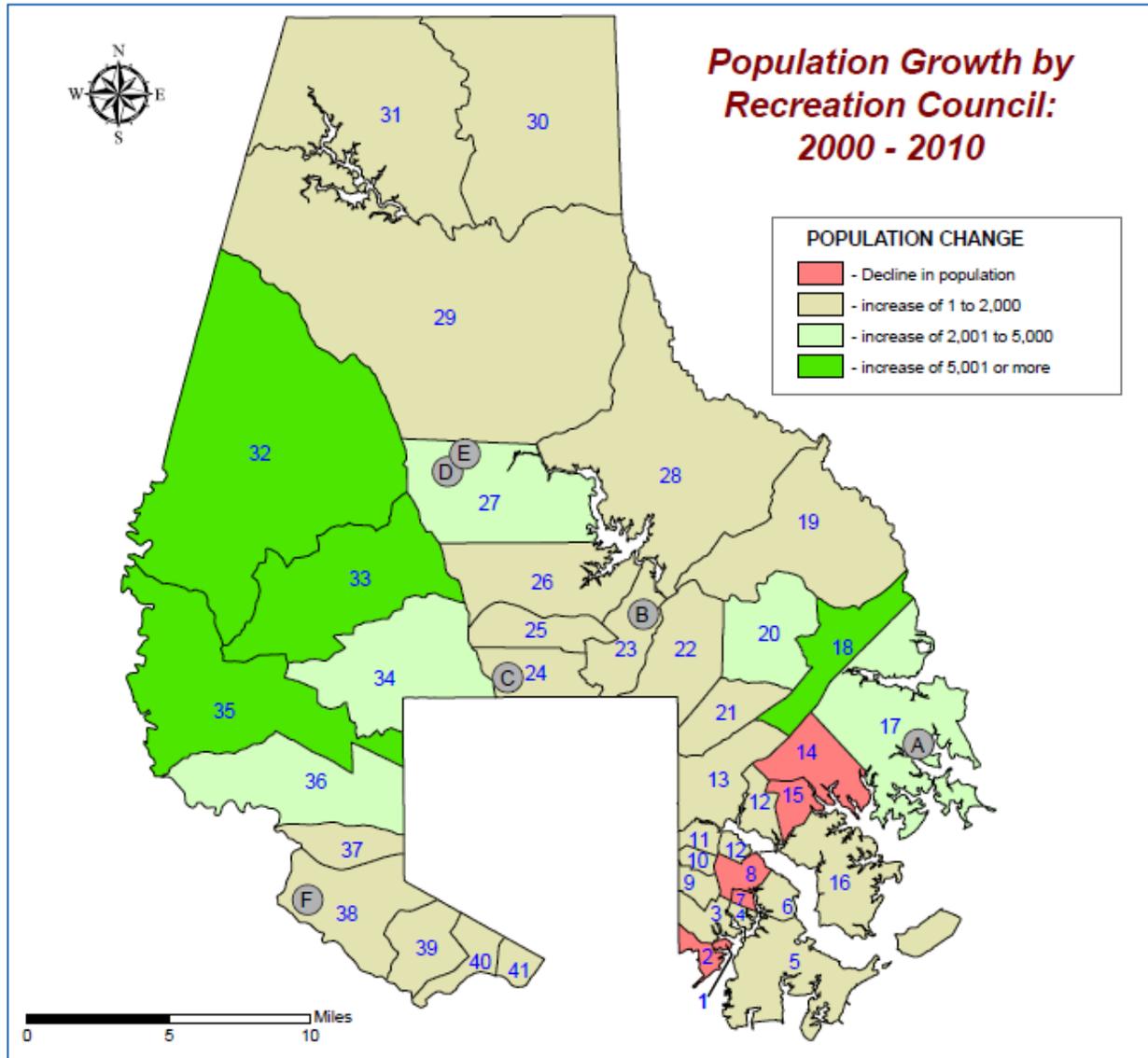
General Population Trends: 2000 - 2010

The map on the following page is a graphic representation of the population changes by council for the ten-year period between 2000 and 2010, listed in the fifth column of the preceding table. The largest population growth during this period took place in and around the County-designated growth areas of Owings Mills (Owings Mills, Reisterstown, Liberty Road and, to an extent, Pikesville) and Honeygo (White Marsh and Perry Hall). Other communities/recreation councils that grew by more than 2,000 population were Woodlawn and Bengies-Chase (both of which experienced residential development in areas that formerly featured mostly low-density residential development and some rural areas), and Cockeysville. The population growth within these nine council areas accounted for approximately 75% of the population growth countywide between 2000 and 2010.



Cowenton Ridge Park is one of a number of park sites acquired to serve the Honeygo Growth Area. Several of the sites have been improved with recreational facilities, while others are planned for future development.

Only six of the councils lost population during this time period: Watersedge, Turner Station, Bear Creek, Gray Charles, Stembridge and Middle River. Of these six councils, only Stembridge and Middle River lost more than 150 population, which is likely attributable to several aged and declining apartment complexes that were converted to other uses—two to parks (Wilson Point Park and the Fields at Renaissance Park) and one to a lower density residential development with single family homes, a park and a commercial complex (Waterview). The remainder of the councils experienced limited to moderate growth, with increases less than 2,000 population, between 2000 and 2010.



REGION 4

1. Watersedge
2. Turner Station
3. Dundalk-Eastfield
4. West Inverness
5. Edgemere-Sparrows Point
6. North Point Village
7. Bear Creek
8. Gray Charles
9. Patapsco Neck-Norwood
10. Berkshire-Eastwood
11. Colgate-Eastpoint
12. Essex
13. Rosedale
14. Middle River
15. Stembidge
16. Back River

REGION 3

17. Bengies-Chase
18. White Marsh
19. Kingsville
20. Perry Hall
21. Overlea-Fullerton
22. Parkville
23. Greater Loch Raven

REGION 2

24. Towsontowne
25. Towson
26. Lutherville-Timonium
27. Cockeyville
28. Carroll Manor
29. Hereford Zone
30. Seventh District
31. Prettyboy
32. Reisterstown

REGION 1

33. Owings Mills
34. Greater Pikesville
35. Liberty Road
36. Woodlawn
37. Edmondson-Westview
38. Catonsville
39. Arbutus
40. Lansdowne-Riverview
41. Baltimore Highlands

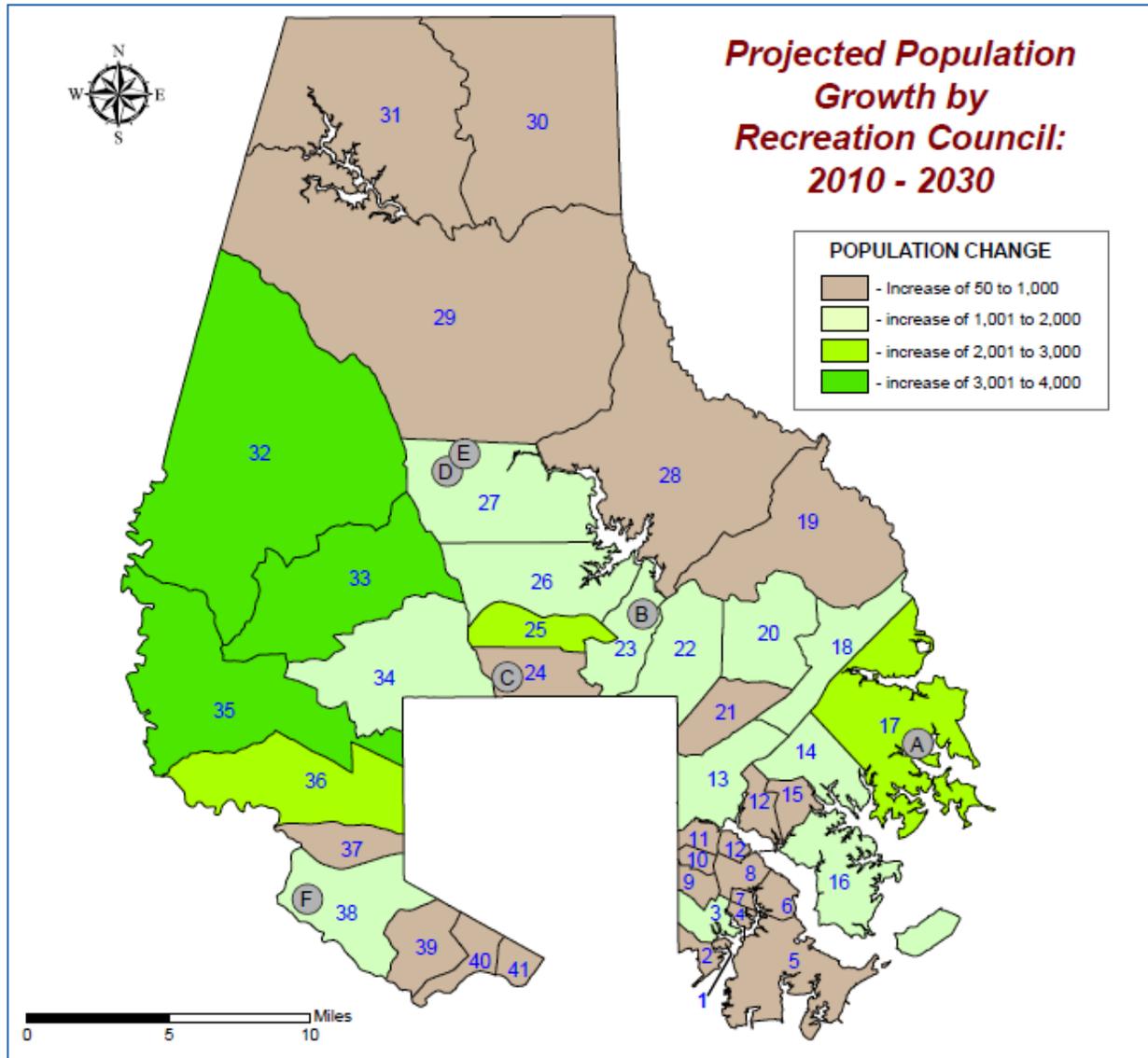
PARK BASED COUNCILS

- | | |
|-------------------------------|---|
| A. Marshy Point Nature Center | D. Oregon Ridge Nature Center |
| B. Cromwell Valley Park | E. Baltimore Co. Agricultural Research Ctr. |
| C. Robert E. Lee Park | F. Banneker Historical Park & Museum |

General Population Trends: 2010 - 2030

The map on the following page is a graphic representation of the projected population growth by council for the twenty-year period between 2010 and 2030. The largest amount of growth (more than 3,000 population per council) is expected to continue to be in and around the Owings Mills Growth Area councils of Owings Mills, Reisterstown and Liberty Road. The anticipated growth in this area alone accounts for approximately 25% of the projected population increase countywide. The three councils expected to grow by between 2,001 and 3,000 population are Woodlawn, Bengies-Chase and Towsontowne. As mentioned in the text about population growth between 2000 and 2010, the first two of these council areas are experiencing pockets of residential growth in areas that previously featured low-density residential development. This growth is expected to continue, and both areas are expected to be further impacted by growth associated with proposed community enhancement areas within or along the fringes of their boundaries (see map on page 19). Towsontowne is undergoing a transformation in which aged and/or underutilized areas are being transformed into relatively high-density residential uses, some of which include a mix of uses (both residential and commercial).

Twelve of the council areas are expected to have a moderate amount of growth, between 1,001 and 2,000 population, within the same twenty-year period. More than half of the councils, including the predominantly rural councils of Kingsville, Carroll Manor, Hereford Zone, Seventh District and Prettyboy, are expected to experience relative light population growth of 1,000 or less.



- | REGION 4 | REGION 3 | REGION 2 | REGION 1 |
|----------------------------|------------------------|--------------------------|-------------------------|
| 1. Watersedge | 17. Bengies-Chase | 24. Towson | 33. Owings Mills |
| 2. Turner Station | 18. White Marsh | 25. Towson | 34. Greater Pikesville |
| 3. Dundalk-Eastfield | 19. Kingsville | 26. Lutherville-Timonium | 35. Liberty Road |
| 4. West Inverness | 20. Perry Hall | 27. Cockeyville | 36. Woodlawn |
| 5. Edgemere-Sparrows Point | 21. Overlea-Fullerton | 28. Carroll Manor | 37. Edmondson-Westview |
| 6. North Point Village | 22. Parkville | 29. Hereford Zone | 38. Catonsville |
| 7. Bear Creek | 23. Greater Loch Raven | 30. Seventh District | 39. Arbutus |
| 8. Gray Charles | | 31. Prettyboy | 40. Lansdowne-Riverview |
| 9. Patapsco Neck-Norwood | | 32. Reisterstown | 41. Baltimore Highlands |
| 10. Berkshire-Eastwood | | | |
| 11. Colgate-Eastpoint | | | |
| 12. Essex | | | |
| 13. Rosedale | | | |
| 14. Middle River | | | |
| 15. Stembidge | | | |
| 16. Back River | | | |
- PARK BASED COUNCILS**
- | | |
|-------------------------------|---|
| A. Marshy Point Nature Center | D. Oregon Ridge Nature Center |
| E. Cronwell Valley Park | E. Baltimore Co. Agricultural Research Ctr. |
| C. Robert E. Lee Park | F. Banneker Historical Park & Museum |

February, 2012

Growth Management and Its Impact on Population Growth

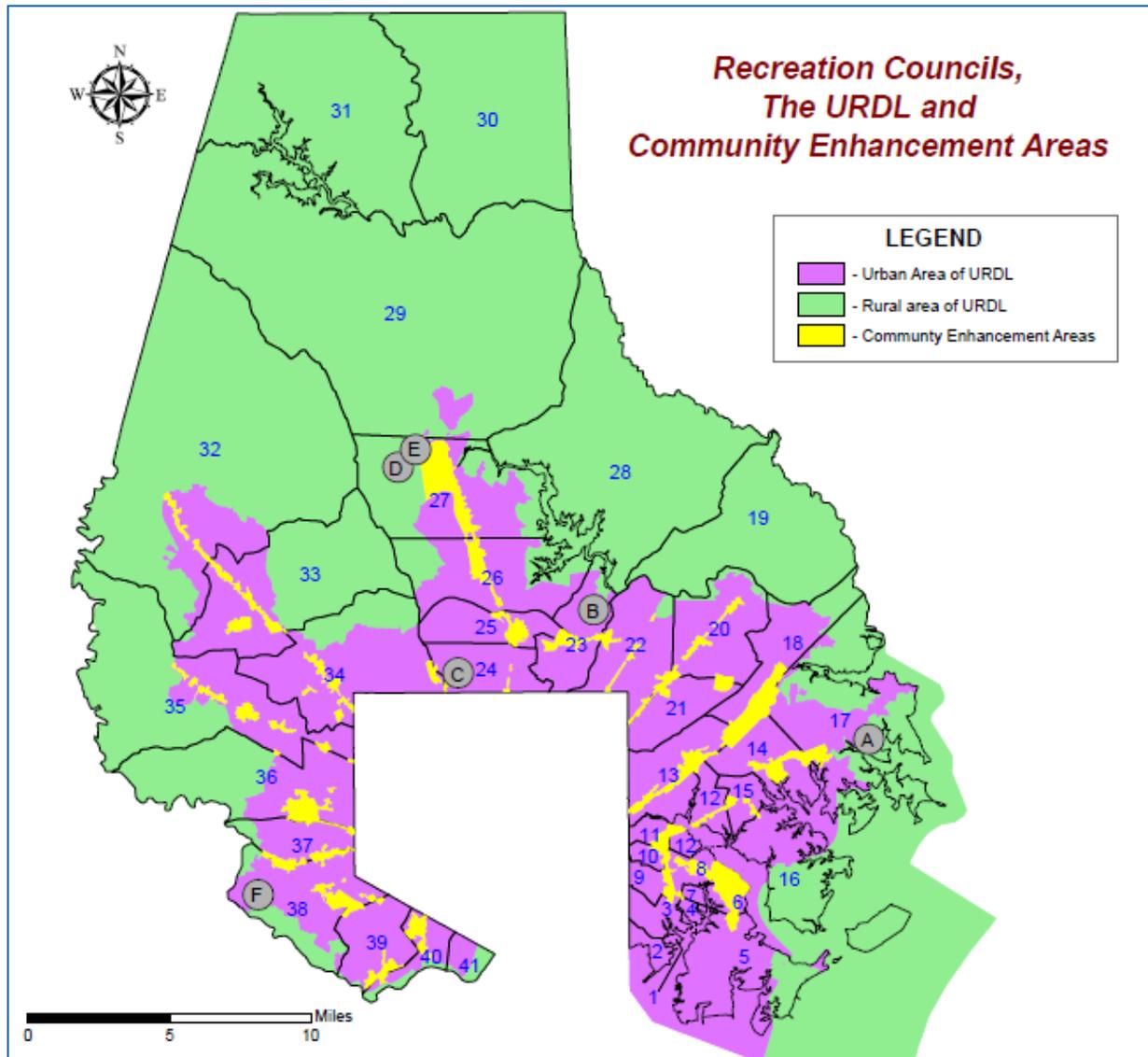
Baltimore County's nationally recognized and lauded growth management policy will continue to greatly impact the pattern of population growth that is envisioned to take place through 2030. At the heart of the growth management policy is the Urban-Rural Demarcation Line (URDL).

The URDL (as described in *Baltimore County Master Plan 2020*): In 1967, Baltimore County took the first significant step toward creating a sustainable policy framework for growth and development when it established an urban growth boundary, the Urban Rural Demarcation Line (URDL). The URDL divides the County into urban and rural land management areas. The division allows infrastructure investments and most land development to be focused in the urban areas, while natural and agricultural resources in the rural areas are preserved.

The urban portion of the URDL is basically one in the same as Baltimore County's Priority Funding Area (PFA), described in the 2009 State of Maryland LPPRP as "areas in which growth and development are to be concentrated. They are defined in the State Finance and Procurement Article and are designated by counties according to State law." The urban area and PFA are where both population growth and the vast majority of public infrastructure investments are concentrated.

The map on the following page shows the recreation council boundaries as they relate to the URDL and to the County's proposed Community Enhancement Areas (CEA's), which were presented in MP2020 as "Areas suitable for sustainable redevelopments that are compact, mixed-use, and walkable." The mixed-use development concept involves a concentration of multiple types of development and land uses within a relatively limited geographic area, often including structures that are multi-story and feature residential and commercial uses. An individual building could include such diverse uses as condominiums, shops, restaurants and offices. Such areas emphasize the concept of "walkability," where residents may easily and safely walk from their home, to their place of employment, to places to shop and dine, all without reliance upon automobiles. Some CEA's also qualify as forms of "transit-oriented development," being situated by or near rail stops or other forms of public mass transportation.

While the County's CEA's place an emphasis upon the importance of parklands and open spaces, particularly in relation to the development's pedestrian access network, this new concept of development does pose some potential challenges in terms of meeting public recreational needs. Being that the geographic land area of a CEA will usually be somewhat limited, it may sometimes be inappropriate or unfeasible to provide a sizeable community park with numerous recreational facilities *within* the bounds of a CEA. Smaller parks and open spaces with limited recreational amenities are more likely components of some CEA's, and the viability of providing public indoor recreation facilities in conjunction with other buildings development in CEA's will need to be explored. In any case, CEA's that move forward are expected to result in relatively concentrated population growth within a potentially short period of time. The availability of existing conveniently situated parks and recreational facilities will need to be evaluated, with solutions and strategies formulated for meeting the needs of the expanded population, whether through the provision of parklands and facilities *within* the CEA, or in close proximity to same.



- | REGION 4 | REGION 3 | REGION 2 | REGION 1 |
|----------------------------|------------------------|--------------------------|-------------------------|
| 1. Watersedge | 17. Bengies-Chase | 24. Towson | 33. Owings Mills |
| 2. Turner Station | 18. White Marsh | 25. Towson | 34. Greater Pikesville |
| 3. Dundalk-Eastfield | 19. Kingsville | 26. Lutherville-Timonium | 35. Liberty Road |
| 4. West Inverness | 20. Perry Hall | 27. Cookeysville | 36. Woodlawn |
| 5. Edgemere-Sparrows Point | 21. Overlea-Fullerton | 28. Carroll Manor | 37. Edmondson-Westview |
| 6. North Point Village | 22. Parkville | 29. Hereford Zone | 38. Catonsville |
| 7. Bear Creek | 23. Greater Loch Raven | 30. Seventh District | 39. Arbutus |
| 8. Gray Charles | | 31. Prettyboy | 40. Lansdowne-Riverview |
| 9. Patapsco Neck-Norwood | | 32. Reisterstown | 41. Baltimore Highlands |
| 10. Berkshire-Eastwood | | | |
| 11. Colgate-Eastpoint | | | |
| 12. Essex | | | |
| 13. Rosedale | | | |
| 14. Middle River | | | |
| 15. Stembridge | | | |
| 16. Back River | | | |
-
- PARK BASED COUNCILS**
- | | |
|-------------------------------|---|
| A. Marshy Point Nature Center | D. Oregon Ridge Nature Center |
| B. Cromwell Valley Park | E. Baltimore Co. Agricultural Research Ctr. |
| C. Robert E. Lee Park | F. Banneker Historical Park & Museum |

February, 2012

Additional Demographic Information and Impacts

The demographic trends reported in the 2005-2006 LPPRP have proven largely accurate, and as such remain valid and are not repeated herein. Additional demographic data about the County in general is presented in Baltimore County Master Plan 2020. Please refer to pages 14-27 of the '05-'06 LPPRP and pages 11-22 of MP2020 for detailed information.

COMPREHENSIVE PLAN FRAMEWORK

This LPPRP enjoys a close, well-established relationship with the County's comprehensive plans, the most recent version of which was Baltimore County Master Plan 2020 (MP2020). The Master Plan incorporates virtually all aspects of local planning. While a few facets of comprehensive planning are incorporated in a relatively high level of detail within the Master Plan, the County's planning process is centered upon the concept of the comprehensive plan being the foundation upon which other County plans and strategic documents are built. The LPPRP is but one of many plans that are formulated with the guidance of the Master Plan, and which subsequently pass through an approval process that results in these plans becoming official addendums to the Master Plan.

Primary Goals of Master Plan 2020

MP2020 features three principal goals, each with associated key actions. Many of the actions associated with the three goals are supported by or have impacts upon parks and recreation within Baltimore County. For example, the joint-use agreement whereby public schools serve as both educational and recreational venues directly supports the public school related action of goal one's bullet seven, while the stormwater runoff action of goal two impacts the manner in which parks and recreational facilities are designed and developed. The three primary goals and associated actions are as follows:

Goal One: Continue the Success of Growth Management

- Direct the future growth within the Urban-Rural Demarcation Line (URDL)
- Protect and enhance Community Conservation Areas
- Promote redevelopment with an emphasis on ailing commercial or industrial properties
- Develop compact, mixed-use, transit-oriented, and walkable neighborhoods
- Advance economic well-being by promoting a high quality labor force
- Provide a mixture of housing types for an emerging diversity of residents
- Support quality public schools to enhance communities
- Prioritize infrastructure improvements via the Capital Improvement Program to endorse sustainable development
- Protect the character and economic vitality of the rural communities

Goal Two: Improve the Built Environment

- Provide adequate open space and recreational opportunities and increase connections to nature by linking open spaces and parks

- Invest in public grounds by tree planting, buffer conservation and habitat restoration
- Expand and deliver multi-modal transportation services
- Reduce pollutant loadings of runoff with enhanced stormwater management
- Meet desire for green communities by providing regulatory incentives
- Ensure integration between regulations and sustainability programs such as LEED (Leadership in Energy and Environmental Design)

Goal Three: Strengthen Resource Conservation and Protection

- Protect health of the natural environment and maintain a valuable biodiversity
- Restore ecosystems and encourage fair, efficient use of natural resources
- Preserve cultural assets to establish a tangible sense of community
- Nurture farming activities and importance of the agricultural industry
- Conserve rural characteristics and scenic vistas

The Twelve Planning Act Visions

The actions identified for the three chief MP2020 goals help to meet the mandates and ideology of the State of Maryland’s twelve planning “visions” that originated as part of the 1992 Planning Act and were most recently updated and expanded during the 2009 Maryland General Assembly legislative session. These visions, as described in MP2020, are:

1. Quality of life and sustainability: a high quality of life is achieved through universal stewardship of the land, water, and air resulting in sustainable communities and protection of the environment;
2. Public participation: citizens are active partners in the planning and implementation of community initiatives and are sensitive to their responsibilities in achieving community goals;
3. Growth areas: growth is concentrated in existing population and business centers, growth areas adjacent to these centers, or strategically selected new centers;
4. Community design: compact, mixed-use, walkable design consistent with existing community character and located near available or planned transit options is encouraged to ensure efficient use of land and transportation resources and preservation and enhancement of natural systems, open spaces, recreational areas, and historical, cultural, and archeological resources;
5. Infrastructure: growth areas have the water resources and infrastructure to accommodate population and business expansion in an orderly, efficient, and environmentally sustainable manner;
6. Transportation: a well-maintained, multimodal transportation system facilitates the safe, convenient, affordable, and efficient movement of people, goods, and services within and between population and business centers;
7. Housing: a range of housing densities, types, and sizes provides residential options for citizens of all ages and incomes;
8. Economic development: economic development and natural resource-based businesses that promote employment opportunities for all income levels within the capacity of the State’s natural resources, public services, and public facilities are encouraged;

9. Environmental protection: land and water resources, including the Chesapeake and coastal bays, are carefully managed to restore and maintain healthy air and water, natural systems, and living resources;
10. Resource conservation: waterways, forests, agricultural areas, open space, natural systems, and scenic areas are conserved;
11. Stewardship: government, business entities, and residents are responsible for the creation of sustainable communities by collaborating to balance efficient growth with resource protection; and
12. Implementation: strategies, policies, programs, and funding for growth and development, resource conservation, infrastructure, and transportation are integrated across the local, regional, State, and interstate levels to achieve these visions.