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DESIGN MANUAL **LAND ACQUISITION**

**Baltimore County
Department of Public Works Design Manual**

LAND ACQUISITION

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**Baltimore County Department of Public Works
Design Manual
LAND ACQUISITION**

I. GENERAL

The Bureau of Land Acquisition of the Department of Permits & Development Management is the agency responsible for the regulation and procurement of right of way and land acquisition for the Department of Public Works and for other departments in Baltimore County. The Right-of-Way Drawings (plats/plans) for both right-of-way and in-fee site acquisition shall be prepared by the Engineer or Surveyor and signed and sealed by a Surveyor in accordance with the instructions herein.

The PDM Bureau of Land Acquisition has created samples of typical right-of-way plats that must accompany certain deeds to Baltimore County. In addition, there is deed submittal information and a checklist available on-line. The plats and information can be accessed at the Bureau of Land Acquisition's Right-of-Way page at this address: www.baltimorecountymd.gov/Agencies/permits/landacquisition/index.html .

II. CONSIDERATION IN LAYOUT OF RIGHTS OF WAY

A. LOCATION

Right-of-way locations shall be regulated, in general, by the location of the utility for which they are being provided. However, before establishing the location of utilities for which rights of way will be necessary, the design engineer shall consider the property owners' interests in positioning the right of way. Undue splitting and angling across property shall be avoided. Right-of-way location shall be fixed by surveys.

B. WIDTH

The width of the right of way shall be sufficient to allow proper access and maintenance of the utility for which it is provided. Generally, right-of-way width is to be provided as follows:

1. Sanitary sewers, force mains, water mains and storm drains – 15 feet minimum (Deeper excavations require greater minimum widths. Consult with Bureau of Engineering for specific widths.)
2. Large storm drain culvert structures and multiple utility installation – adequate clearance all around the facility
3. Roads and streets – as required on Standard Road Sections

III. **DRAWINGS AND DOCUMENTS TO BE SUBMITTED TO BUREAU OF LAND ACQUISITION**

A. INITIAL CONFERENCE

Before preparing project property mosaics or rights-of-way plats, the designer is to meet with representatives of the Bureau of Land Acquisition who will clarify the standard requirements and review the project for any special attention or details which would be beneficial to the public interest.

B. PRELIMINARY REVIEW

All right-of-way and site acquisition drawings (except for new subdivisions) prepared by surveyors other than those in the Bureau of Land Acquisition shall be delivered to the Bureau for tentative approval bearing the signature, seal and registration number of the surveyor responsible for their preparation. This submittal should include Right of Way plats, property mosaic and or a worksheet of the entire project, all preferably in electronic format (AutoCAD). Right-of-Way and Job Order numbers will be assigned upon initial submission.

IV. **PROCEDURES AND SPECIFICATIONS FOR PREPARING RIGHT-OF-WAY PLATS**

A. GENERAL INSTRUCTIONS

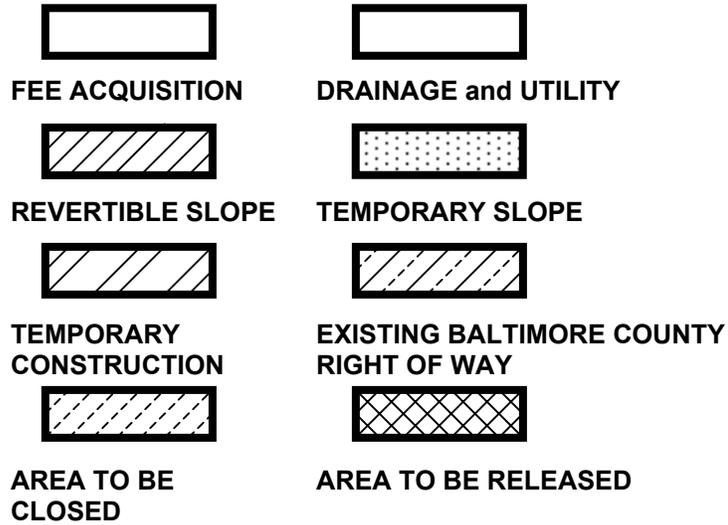
1. Final Plats must be prepared in ink on 8 ½" x 14" mylars bearing the standard drawing format as supplied by the Bureau of Land Acquisition. Review submittals may be sent in on paper.
2. Sample drawings will be furnished by the Bureau of Land Acquisition on request.
3. Plats and mosaics may be lettered freehand or by CADD.
4. Plats shall show councilmanic and election district in the appropriate area.
5. Where lots affected by our taking are on a recorded plat, the R/W plat shall indicate:
 - Lot numbers
 - Block numbers
 - Record plat name
 - Recording references with initials
6. For each residence, include the house number, but it is not necessary to show the structure itself.
7. Rights of way must be tied down in such a manner that surveyors can reproduce them on the ground.
8. Base Lines or Center Lines of projects shall be displayed on each plat for reference purposes, with bearings and/or curve data where applicable.

9. No more than four (4) properties shall be shown on any one plat.
10. On single properties involving more than one plat, match lines based on centerline stations, manholes or other methods of matching plat to plat must be used.
11. All adjoining plats with common lines shall be noted and labeled "**Match Line See RW xx-xxx-x**". These lines should be on a common line, such as a property line, or on a convenient station with a bold line and labeled – **Match Line See RW xx-xxx-x** -(next plat number). Everything is to be trimmed to this line and picked up on the adjoining plat. If there is no common line (i.e. opposite side of a street) the label "**See RW xx-xxx-x**" shall be used. Where the last "x" is the number of the adjoining plat.
12. Where improvements on a property affected by our taking are close to the taking, the improvements must be shown and their location from the taking indicated.
13. On plats where lots affected by our taking are not shown relative to any intersecting streets, the closest intersecting street should be located by marking with an arrow and a plus-or-minus distance to said street.
14. Where an existing R/W crosses the property affected by our taking, the existing R/W and reference for same must be shown on the plat and labeled "**Existing Baltimore County Right of Way** (or easement type) **See RW xx-xxx-x**".
15. Where properties on opposite sides of a road call to the center of the road but property lines in the road do not match, the properties on each side of the road shall be shown on separate plats to avoid highlighting any gaps or overlaps that could create confusion.
16. All plats must carry an Engineer's / Surveyor's Seal with a signature across it, along with the Engineer's / Surveyor's printed name and signature in the appropriate area of the plat.

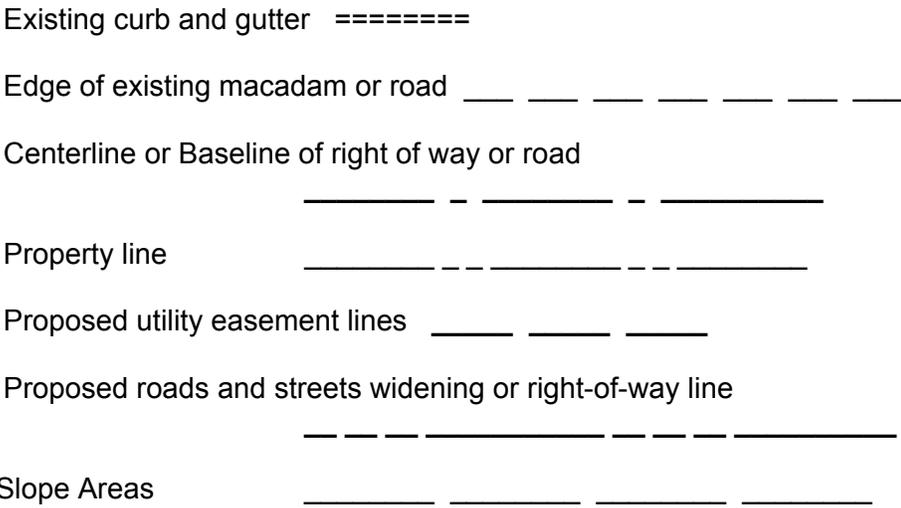
B. SCALE AND SYMBOLS

1. Plats shall be made to the scale of 1" = 50' where practical. Scales of 1" = 30' and 1" = 40' are discouraged. Any scale smaller than 1" = 100' must be approved by the Bureau of Land Acquisition.
2. Print shall be of a clear font style and at a readable scale. No font scale shall be smaller than 1/10th the scale of the drawing (ie: 5' text on a 50 scale drawing)

- The symbols shown on the plat shall be used to identify different types of acquisitions. No areas are to be shaded.



- Curve data shall include radius, arc length, delta angle, chord bearing and chord distance only.
- Break lines are not to be used without previous permission from the Bureau of Land Acquisition.
- Where applicable, survey centerlines or baselines and stations shall be shown AND marked accordingly. Coordinate and Geometric data will be supplied separately.
- The NORTH arrow must be oriented above the horizontal axis of the linen and pointing toward the top of the page.
- Lines shall be in accordance with the following:



9. All "Acquisition Areas" shall be boldly outlined so that they can be easily recognized and identified.
10. **POB** (Point of Beginning)'s shall be supplied only if and when requested by the county. **POB**'s shall designate easily reproducible points on the acquisition area

C. MEASUREMENTS AND TERMINOLOGY

1. Areas on residential takings shall be measured within 5%. They shall be provided in square feet and acres, showing three significant places.

Example:

$$255 \text{ sq ft } \pm = 0.006 \text{ Ac } \pm$$

$$2,250 \text{ sq ft } \pm = 0.058 \text{ Ac } \pm$$

$$25,500 \text{ sq ft } \pm = 0.585 \text{ Ac } \pm$$

$$255,000 \text{ sq ft } \pm = 5.850 \text{ Ac } \pm$$

2. Areas on commercial, industrial, business, apartment or other large takings shall be prepared in accordance with instructions from the Bureau of Land Acquisition.
3. The following terminology shall be used to identify area measurements provided:

Temporary Construction and Adjustment Area

Temporary Construction Area

Drainage & Utility Easement Area

Temporary Easement Area

Revertible Slope Easement Area

Temporary Slope Easement

Area in Paving

Fee Simple Acquisition Area

In-Fee Highway Widening Area

In-Fee Highway Right-of-Way Area

4. Temporary or revertible slope easements run to, but not through, driveway and or sidewalk adjustment areas that are labeled Temporary Construction and Adjustment Areas.

5. Highway R/W plats must show existing paving and it must be labeled: *EXISTING PAVING*
6. Where a property owner's title is located so that a widening strip includes existing paving (such as where a deed places the title line in the center of a road), the plat shall indicate the total fee-taking (Highway Widening) area, including the paving, and a separate area labeled: *AREA IN PAVING*
7. On R/W plats showing highway widening, the entire area of the property before the taking shall be labeled: *AREA BEFORE TAKING*
8. Where a property is large enough to extend on to more than one plat (the area on each plat shall indicate the area of the entire taking; each plat shall indicate "For Totals, See RW 03-XXXX."), the word *TOTAL* shall be added in front of the terminology referred to in Item #3 above. Where there is more than one taking, each take shall have its area shown individually as well.
9. All Fee Simple and Permanent Easement takings will have a metes and bounds description. Bearing, distance and/or Curve tables may be used when space requires. Line labels may be numbers or letters in sequence and unique to each plat. The labels may be enclosed by a figure to aid in identification but no circles are to be used as they are reserved for Item numbers. Line labels may be numbers or letters in sequence that are unique to each plat. The labels may be enclosed by a figure (other than a circle to avoid confusion with item numbers) to aid in identification.
10. Un-acquired areas depicted on existing Record Plats or Right of Way plats are to be labeled as they are on said plat with - as shown on "ref."
11. All slopes and construction areas should be labeled by station, plus and offset from the base/center line.

D. PROPERTY AND DEED REFERENCES

1. Each property shown on a plat shall have an Item Number indicated thus:
①, ②, ③ etc.
2. On large projects with multiple plats and items every attempt should be made to keep the plats and Items in some sort of sequential order throughout the project
3. Each property affected by our taking must show the property owner's name and deed reference. The deed reference shall have the Clerk's initials only, without "Liber/Folio, L/F, book/page, etc.
4. All property lines are to be labeled.
 - a. Deed bearing, distance and call number as stated in the deed using vertical text ending with (first, second...last) line (Deed Reference).

- b. Survey bearing and distance in slanted or italic text ending with “(Survey)”.
 - c. Record Plat bearing and distance ending with “(Plat)”.
5. Where a husband and wife are in title, the owners' names should read as written in the deed (ie *JOHN JONES & MARY JONES, his wife*)
 6. Where more than one person are in title, and they are not husband and wife, the owners' names should read: *JOHN JONES, et al*
 7. Item numbers and info should be written as follows:

5

**BOBBY C. KEMP
& VERONICA C. KEMP, his wife
S.M. 10387/311
Tax Account Number**

HIGHWAY WIDENING AREA
=350 Sq.Ft. / 0.008 Ac.+/-
TOTAL TEMPORARY SLOPE EASEMENT AREA
46 Sq.Ft.
TEMPORARY CONSTRUCTION AND ADJUSTMENT AREA
=164 Sq.Ft. / 0.004 Ac.+/-
TOTAL DRAINAGE AND UTILITY EASEMENT AREA
=526 Sq. Ft. / 0.012 Ac.+/-

The above example also shows a “TOTAL” area. This is a result of having two individual Temporary Slope / Drainage and Utility Easement Areas. When labeled on the drawing; it should be done as follows:

Temporary Slope Easement Area “A”
(36 Sq. Ft.)

with a leader to the referred to area. Each separate area shall be labeled in this manor with sequential letters. Whenever there is more than one acquisition of the same type the description under the Item information should begin with “Total”.

8. The Highway Right-of-Way areas are to be labeled “Highway Widening Area” when expanding or widening an existing Right-of-Way and “Highway Right of Way Area” when creating a new Right-of-Way.
9. The areas delineated to adjusting driveways or walkways are to be labeled “Temporary Construction and Adjustment Area”.
10. Areas behind the Highway Widening Areas for grading are to be labeled “Temporary Slope Easement” for small temporary grading or “Revertible Slope Easement” where larger slopes are needed for support of adjacent roadway, as recommended by the Design Engineer.

11. Areas designated for utility use are to be labeled "Drainage and Utility Easement Area".
12. Areas surrounding or adjacent to Utility Easements, which are to be used for construction purposes only, are to be labeled "Temporary Construction Areas".
13. Revision dates shall be placed in the appropriate area when changes in the plat require a new appraisal to be requested.

V. PROCEDURES FOR FEDERAL-AID AND STATE-AID PROJECTS

A. GENERAL

Follow the procedure already set forth in this Manual for Baltimore County right-of-way plat requirements.

B. INITIAL CONFERENCE

Before plat preparation is started, a conference must be held with the Bureau of Land Acquisition to determine if there are any recent federal or state changes and/or additions to the aforesaid requirements, which might affect plat preparation.

C. PROPERTY LINE POSITION SHEETS

Property Line Position sheets must show all pertinent information including the center line of the proposed road and right-of-way lines in their relationship to the properties. Properties must be plotted out in their entirety, if practical. If not, there must be an insert showing the entire tract on the R/W position sheet where said property is located.

D. TITLE SHEET

A title sheet must be made showing:

- Scales
- Location sketch (vicinity map)
- Group index of sheets
- Design designation
- Federal-aid project number
- State-aid project number
- All signature spaces as required by the federal or state agency

E. AREA SHEETS

Area sheets must be filled out completely. There must be a separate item number for each area and deed reference, although more than one may be owned by the same person.

VI. REFERENCE SOURCES

A. LAND RECORDS – BALTIMORE COUNTY

The following Land Records dating back to 1851 are on file at the Baltimore County Court House. Land Records prior to 1850 are at the Hall of Records in Annapolis, Maryland. The Baltimore City Court House has copies of the records between 1800 and 1850.

<u>Liber No.</u>	<u>Type</u>	<u>Initials</u>	<u>Name</u>
1 to 21	Land Records	H.M.F.	Henry M. Fitzhugh
22 to 39	Land Records	G.H.C.	George H. Carman
40 to 56	Land Records	J.H.L.	John H. Longnecker
57 to 83	Land Records	E.H.A.	Edward H. Ady
84 to 114	Land Records	J.B.	John Bacon
115 to 120	Land Records	W.M.I.	William M. Isaac
121 to 148	Land Records	W.M.I.	William M. Isaac
1	Land Records	W.M.I.	William M. Isaac
2	Land Records	J.W.S.	John W. Shanklin
149 to 189	Land Records	J.W.S.	John W. Shanklin
190 to 227	Land Records	L.M.B.	Lewis M. Bacon
229 to 272	Mortgage Release	N.B.M.	N. Bosley Merryman
3	Mortgage Release	N.B.M.	N. Bosley Merryman
273 to 648	Mortgage Release	W.P.C.	William P. Cole
481 to 776	Mortgage	W.P.C.	William P. Cole
4	Mortgage Release	W.P.C.	William P. Cole
649 to 651	Land Record	C.W.C.	C. Walter Cole
777 to 783	Mortgage	C.W.C.	C. Walter Cole
652 to 662	Land Record	W.H.M.	W. Howard Milling
784 to 807	Mortgage	W.H.M.	W. Howard Milling
808 to 817	Land Record	W.H.M.	W. Howard Milling
818 to 918	Land Record	L.McL.M.	Lewis McLane Merryman
919 to 1170	Land Record	C.W.B., Jr.	C. William Browne, Jr.
<u>Liber No.</u>	<u>Type</u>	<u>Initials</u>	<u>Name</u>
5	Mortgage Release	C.W.B., Jr.	C. William Browne, Jr.
6	Mortgage Release	C.W.B., Jr.	C. William Browne, Jr.
1171 to 1265	Land Record	C.H.K.	Christian H. Kahl
1266 to 1520	Land Record	R.J.S.	Robert J. Spittel
1521 to 1649	Land Record	J.W.B.	John W. Bishop
7	Mortgage Release	J.W.B.	John W. Bishop
1650 to 1910	Land Record	T.B.S.	Thomas Braden Silcott
1911 to 2458	Land Record	G.L.B.	George L. Byerly
2459 to 3454	Land Record	G.L.B.	George L. Byerly
3455 to 4079	Land Record	W.J.R.	Walter J. Rasmussen
4080 to 4497	Land Record	R.R.G.	Robert R. Gill
4498 to 5278	Land Record	O.T.G.	Orville T. Gosnell
5279 to	Land Record	E.H.K., Jr.	Elmer H. Kahline, Jr.
to present	Land Record	S.M.	Suzanne Mensch

B. LAND RECORD PLAT BOOKS – BALTIMORE COUNTY

All the Land Record Plat Books for Baltimore County are on file at the Baltimore County Court House. They are:

<u>Liber No.</u>	<u>Folios</u>	<u>Type</u>	<u>Initials</u>	<u>Name</u>
1 Part 1	1 to 165	Plat Book	J.W.S.	John W. Shanklin
1 Part 2	6 to 336	Plat Book	J.W.S.	John W. Shanklin
2 Part 1	1 to 195	Plat Book	J.W.S.	John W. Shanklin
2 Part 2	196 to 398	Plat Book	J.W.S.	John W. Shanklin
3	1 to 200	Plat Book	W.P.C.	William P. Cole
4	1 to 200	Plat Book	W.P.C.	William P. Cole
5	1 to 114	Plat Book	W.P.C.	William P. Cole
6	1 to 184	Plat Book	W.P.C.	William P. Cole
7 Part 1	1 to 88	Plat Book	W.P.C.	William P. Cole
7 Part 2	89 to 194	Plat Book	W.P.C.	William P. Cole
8	1 to 100	Plat Book	W.P.C.	William P. Cole
9	1 to 128	Plat Book	L.McL.M.	Lewis McLane Merryman
10	1 to 130	Plat Book	L.McL.M.	Lewis McLane Merryman
11 Part 1		S.R.C.*	L.McL.M.	Lewis McLane Merryman
11 Part 2		S.R.C.*	L.McL.M.	Lewis McLane Merryman
11 Part 3		S.R.C.*	L.McL.M.	Lewis McLane Merryman
12	1 to 122	Plat Book	C.W.B.,Jr.	C. William Browne, Jr.
13	1 to 152	Plat Book	C.H.K.	Christian H. Kahl
14	1 to 150	Plat Book	J.W.B.	John W. Bishop
15	1 to . . .	B.C.H.D.**	T.B.S.	Thomas Braden Silcott
16	1 to 118	Plat Book	T.B.S.	Thomas Braden Silcott
17	1 to 106	Plat Book	G.L.B.	George L. Byerly
18	1 to 136	Plat Book	G.L.B.	George L. Byerly
19	1 to 150	Plat Book	G.L.B.	George L. Byerly
20	1 to . . .	Plat Book	G.L.B.	George L. Byerly
21	1 to 79	Plat Book	G.L.B.	George L. Byerly
22	1 to 150	Plat Book	G.L.B.	George L. Byerly
23	1 to 150	Plat Book	G.L.B.	George L. Byerly
24	1 to 150	Plat Book	G.L.B.	George L. Byerly
25	1 to 99	Plat Book	G.L.B.	George L. Byerly
26 & 27	1 to 150	Plat Book	W.J.R.	Walter J. Rasmussen
<u>Liber No.</u>	<u>Folios</u>	<u>Type</u>	<u>Initials</u>	<u>Name</u>
28	1 to 116	Plat Book	W.J.R.	Walter J. Rasmussen
29	1 to 150	Plat Book	R.R.G.	Robert R. Gill
30	1 to 135	Plat Book	R.R.G.	Robert R. Gill
30	134 to 150	Plat Book	O.T.G.	Orville T. Gosnell
31 – 35	1 to 150	Plat Book	O.T.G.	Orville T. Gosnell
36 – 55	1 to 118	Plat Book	E.H.K.,Jr.	Elmer H. Kahline, Jr.
55 to present	119 to	Plat Book	S.M.	Suzanne Mensch

*State Roads Commission

**Baltimore County Health Department

C. ROAD RIGHTS OF WAY – BALTIMORE COUNTY

The following Road Rights-of-Way records are on file at the Baltimore County Court House:

<u>Book Number</u>	<u>Folios</u>	<u>Dates</u>
Road Book 1	1 to 175	1830 to 1837
Road Book 2	MISSING	
Road Book 3	1 to 555	1845 to 1859
Road Book 4	1 to 184	1859 to 1868
Road Book 5	1 to 280	1878 to 1912
1 st District Book	1 to 104	1865 to 1877
2 nd District Book	1 to 47	1881 to 1910
3 rd District Book	1 to 154	1877 to 1913
4 th District Book	1 to 68	1848 to 1908
5 th District Book	1 to 14	1882 to 1896
6 th District Book	1 to 21	1877 to 1897
7 th District Book	1 to 21	1878 to 1902
8 th District Book	1 to 42	1879 to 1913
9 th District Book	1 to 206	1879 to 1913
10 th District Book	1 to 21	1881 to 1911
11 th District Book	1 to 34	1880 to 1902
12 th District Book	1 to 101 + 303	1846 to 1913
13 th District Book	1 to 56	1877 to 1913
<u>Book Number</u>	<u>Folios</u>	<u>Dates</u>
14 th District Book	1 to 74	1899 to 1913
15 th District Book	1 to 20	1898 to 1911

Right-of-Way records after 1913 are in the Land Records and the Land Record Plat Books.